

Yards – New construction, addition and attached garages

Yards:

The following table identifies the yard requirements for each land use type allowed in the Neighborhood-1 and -2 (N-1 and N-2) zoning districts.

District	Use Type	Front Yard Minimum (feet)	Side Yard Abutting a Street Minimum (feet)	Side Yard Interior Minimum (feet) for Attached Garage or Lot with Alley	Side Yard Interior Minimum (feet) for Detached Garage on Lot without Alley	Rear Yard Minimum (feet)	Perimeter Yard Minimum (feet)
N-1	Dwelling, single-unit small [only lots with alleys]	25	9	5	9/5	25	
	Dwelling, single-unit			5	9/5	25	
	Dwelling, two-unit (duplex)			5	9/5	25	
	Dwelling, two-unit attached (twinhome)			5	9/5	25	
	Dwelling, three-unit			5	9/5	25	
	Dwelling, detached courtyard cottages/ bungalows						10
	All other uses	25	9	10	10	25	
N-2	Dwelling, single-unit small [only lots with alleys]	25	9	5	9/5	25	
	Dwelling, single-unit			5	9/5	25	
	Dwelling, two-unit (duplex)			5	9/5	25	
	Dwelling, two-unit attached (twinhome)			5	9/5	25	
	Dwelling, detached courtyard cottages/ bungalows						10
	Dwelling, three-unit			5	9/5	25	
	Dwelling, four-unit			5	9/5	25	
	Dwelling, townhouse (small)			10	10	25	20 feet if adjacent to N-1 district
	Dwelling, apartment (low-rise)			10	10	25	
	All other uses			10	10	25	

Table notes and exceptions for yards requirements

- For N-1 and N-2 districts, minimum requirement in the table or the distance from the front lot line to the front wall of the house closest to the front lot line on the block front, whichever is greater. The closest wall shall not include walls that are allowed as encroachment into the front yard as allowed by Section 36-73 (yard encroachments).
- For N-1 and N-2 districts, through lots shall have a required front yard on each street.
- The width of the side yard abutting a building wall shall be increased two inches for each foot the length of the wall of the building exceeds 40 feet (N-1, N-2) or 50 feet (N-3, N-4).
- For N-1 and N-2 districts, if a corner lot has a rear lot line which is common with the side lot line of another lot, no building shall occupy that portion of the rear yard of the corner lot that abuts the front yard of the other lot for a distance equal to the depth of the front yard of that other lot or 30 feet, whichever is less, measured from the common property line of the two lots extending toward the front lot line of the corner lot on a line perpendicular to the common lot line of the two lots. See the following diagram.
- When two numbers are listed as a yard, then both shall apply. One on one side, the other on the other side. In the case of a corner lot, the required side yard abutting a street shall take the place of the greater yard.
- If a perimeter yard is less than a required interior side or rear yard, then the larger yard requirement shall be applied.
- Legally, non-conforming side yards – A single-family house may be expanded by an addition provided the addition does not extend into the existing side yard.
- Eaves, 4 feet to side property line.
- Open covered porches with no windows, walls or screens, 20 feet to the front property line.
- Entry way less than 5 feet deep and 8 feet wide may extend into the required front yard.
- Bays may extend up to 3 feet into a setback if the total bay is less than 20 square feet in area.
- The width of the total garage doors on a street facing façade cannot exceed 50% of the principal building's width.
- The overall impervious surface maximum is 60% of the lot size, with the following exceptions:
 - Four unit dwellings and small townhouse dwellings is 75%.
 - Low-rise apartments is 80%.

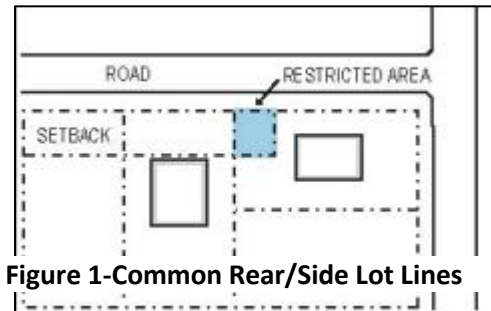


Figure 1-Common Rear/Side Lot Lines

If you have questions regarding the building code, please contact the inspections department at 952.924.2588.

This handout is a summary of the most common zoning requirements, and doesn't cover all zoning regulations. Please contact the inspections department if you have questions regarding zoning and your project.