

SITE STATISTICS:
THE PROPERTY IS ZONED "MX-2 NEIGHBORHOOD MIXED-USE"

REQUIRED PARKING	
Data Center	16 stalls
Maintenance Building	11 stalls
Parking Spaces Required =	26 stalls
CURRENT PARKING	
Spaces along West Lake Street:	27 stalls
Spaces along Dakota Avenue South:	13 stalls
Spaces along Walker Street:	12 stalls
Spaces along Library Lane:	34 stalls
Spaces at Maintenance Building:	3 stalls
Total Parking Spaces =	89 stalls
PROPOSED PARKING	
Spaces along West Lake Street:	27 stalls
Spaces along Dakota Avenue South:	13 stalls
Spaces along Walker Street:	12 stalls
Spaces along Library Lane:	32 stalls
Spaces at Maintenance Building:	3 stalls
Total Spaces during school day:	87 stalls (meets 26 requirement)

BICYCLE PARKING = 4 SPACES	
PROPOSED DISTURBED AREA:	
	26,743 SF (0.61 Acres)
EXISTING PERVIOUS AREA:	66,961 SF (1.54 Acres)
EXISTING IMPERVIOUS AREA:	76,983 SF (1.77 Acres)
EXISTING SYNTHETIC TURF AREA:	95,823 SF (2.20 Acres)
PROPOSED IMPERVIOUS AREA (includes future):	
Added Impervious:	87,286 SF (2.00 Acres)
	10,303 SF (0.24 Acres)

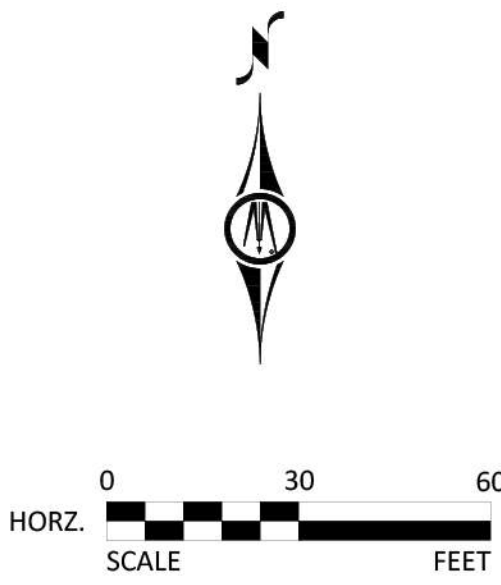
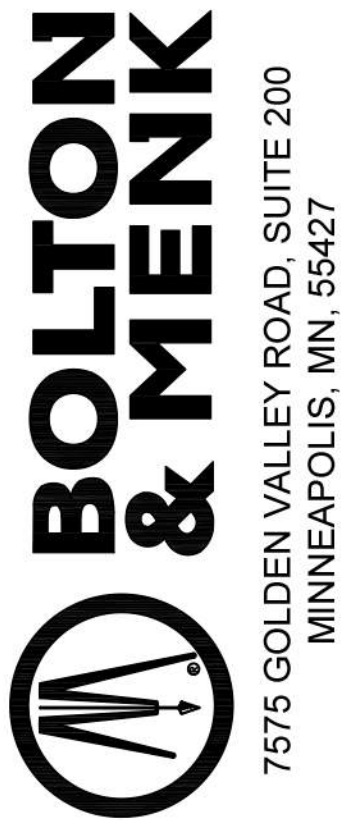
PARKING COUNTS



DATA CENTER
AND MAINTENANCE BUILDING

TOTAL SPACES = 49 Spaces

Main Street | Suite 325 | Minneapolis | MN 55414
m.com



CUP APPLICATION SET
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7/14/2023

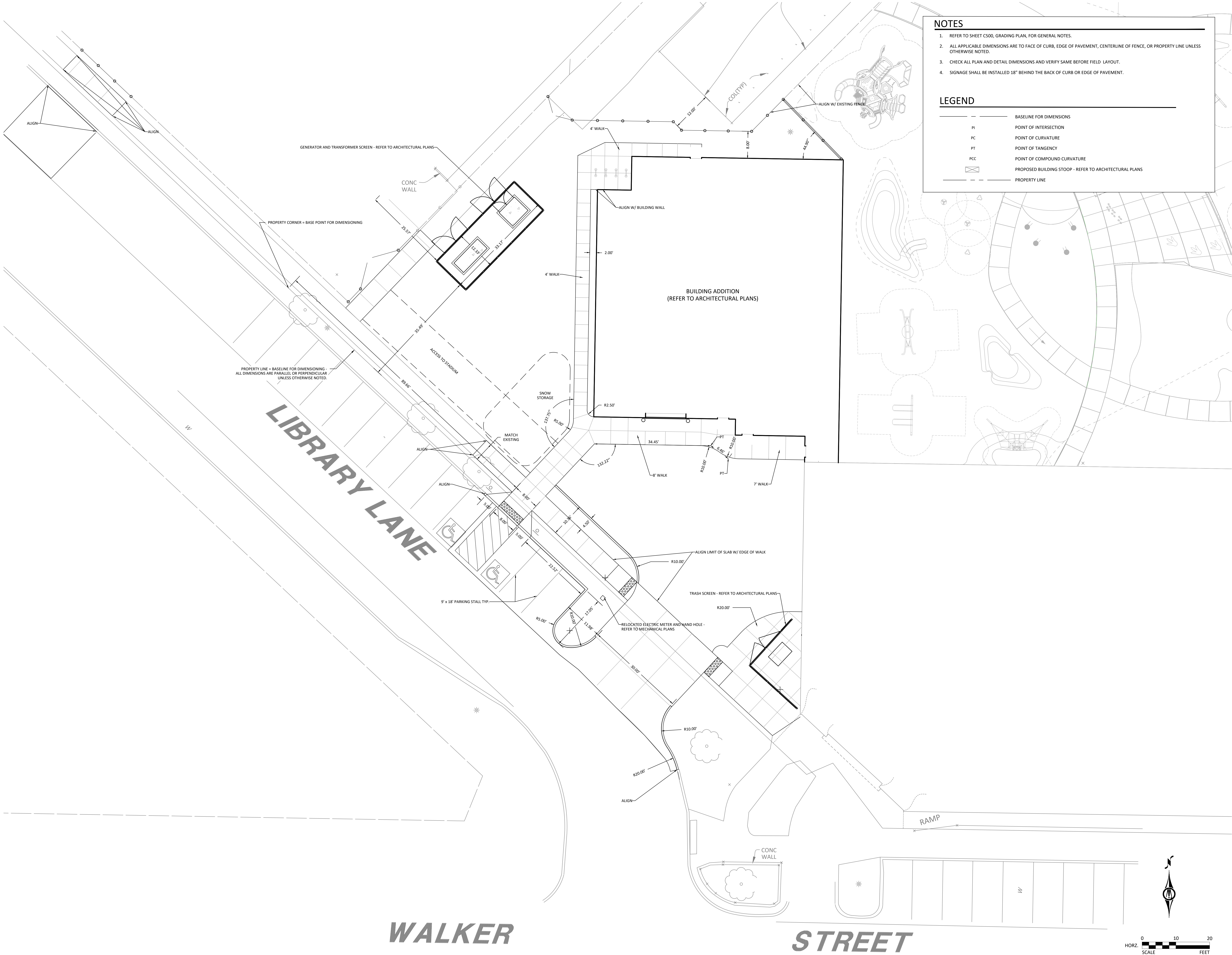
Revisions		
No.	Date	Description
####	####	####

Project Information		
Phase:	CUP	Date: 7/17/2023
Project No.:	128538	PIC / AIC: ####
St. Louis Park Public Schools - Maintenance Building and Data Center		

Sheet Title
SITE REFERENCE PLAN

Sheet Number
C1.00

Current Revision



NOTES

1. REFER TO SHEET C500, GRADING PLAN, FOR GENERAL NOTES.

2. ALL APPLICABLE DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, CENTERLINE OF FENCE, OR PROPERTY LINE UNLESS OTHERWISE NOTED.

3. CHECK ALL PLAN AND DETAIL DIMENSIONS AND VERIFY SAME BEFORE FIELD LAYOUT.

4. SIGNAGE SHALL BE INSTALLED 18" BEHIND THE BACK OF CURB OR EDGE OF PAVEMENT.

LEGEND

BASELINE FOR DIMENSIONS

PI

POINT OF INTERSECTION

PC

POINT OF CURVATURE

PT

POINT OF TANGENCY

PCC

POINT OF COMPOUND CURVATURE

PROPOSED BUILDING STOOP - REFER TO ARCHITECTURAL PLANS

PROPERTY LINE

201 SE Main Street | Suite 325 | Minneapolis | MN 55414
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7575 GOLDEN VALLEY ROAD, SUITE 200
MINNEAPOLIS, MN 55427

CUP APPLICATION SET
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7/14/2023

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the state of Minnesota

Signed:

Revisions		
No.	Date	Description

Project Information		
Phase:	CUP	Date: 7/17/2023
Project No.:	128538	PIC/ AIC: ###

St. Louis Park Public Schools -
Maintenance Building and Data
Center

Sheet Title
SITE LAYOUT PLAN

Sheet Number	Current Revision
C3.00	

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